



To the Honorable Council
City of Norfolk, Virginia

February 24, 2022

From: George M. Homewood
Director of Planning

Subject: Conditional Use Permit - Panda
Express

Reviewed:

Ward/Superward: 4/7

Patrick Roberts, Deputy City
Manager

Approved:

Dr. Larry H. Filer II, City Manager

Item Number: C-6

- I. **Planning Commission Recommendation:** By a vote of **5 to 0**, the Planning Commission recommends **Approval**.
- II. **Request:** Conditional Use Permit to allow Drive-Through facility for a new restaurant.
- III. **Applicant:** Panda Express
- IV. **Description:**
 - The applicant intends to subdivide a 1.07-acre lot from the Walmart site to build a 2,668 square foot Panda Express Restaurant.
 - The applicant is requesting a two-lane drive-through with access from within the shopping center.
 - Drive-through facilities for restaurants are allowed in C-R zoning with a Conditional Use Permit (CUP).
 - The drive-through is positioned away from N. Military Highway which meets the requirements of the Commercial and Mixed-Use Pattern Book and has sufficient stacking spaces.
 - The elevations and site plan are also able to meet the requirements of the performance standard for drive-throughs.
 - Elevations show that the features of the canopy and drive-through window are consistent with the roofline and material of the principal structure.
 - The pick-up window faces towards Walmart, not on the front façade along N. Military Highway.
 - The drive-through exceeds stacking space requirements, which are six starting at the order box/speaker and three between the order box/ speaker and the pickup window.

- Since the site is an out parcel, the internal traffic circulation patterns will not interfere with street traffic nor blocks access to any required parking spaces.
- With the primary entrance of the restaurant located at the northeast corner of the building, away from the drive-through on the southern side, the site layout reduces conflicts between vehicle and pedestrian movements.
- The site plan shows a perimeter landscaping of at least three feet. Any additional required vegetation including tree canopy coverage will need to comply with *Zoning Ordinance* requirements through the Site Plan Review process.

V. Historic Resources Impacts:

The site is not located within a federal, state, or local historic district.

VI. Public Schools Impacts:

N/A

Staff contact: Joy Kelling at (757) 664-4756, joy.kirch-kelling@norfolk.gov

Attachments:

- Proponents and Opponents
- Staff Report to CPC dated February 24, 2022 with attachments
- Ordinance

Proponents and Opponents

Proponents

Dan Grayson (authorized agent)
PO Box 1302
Fairview TN, 37062

Opponent

None



City Planning Commission Public Hearing: February 24, 2022

Executive Secretary: George M. Homewood, FAICP, CFM

Staff Planner: Joy Kirch-Kelling

Staff Report	Item No. 3		
Address	1170 North Military Highway		
Applicant	Panda Express		
Request	Conditional Use Permit	Drive-Through facility, large scale	
Zoning	C-R (Regional Commercial)		
Neighborhood	Lake Taylor		
Surrounding Area	North	C-R and C-C (Community Commercial): Wal-Mart parking and Pep-Boys	
	East	C-R: Wal-Mart	
	South	C-R: Hooters restaurant	
	West	C-C: Walgreens	
Recommendation	Approval with conditions		



A. Summary of Request

- The site is located on the east side of North Military Highway just south of Lowery Road within the JANAF Shopping adjacent to the Lake Taylor neighborhood.
- This request would allow a new Panda Express restaurant to have a two-lane drive-through facility.
- Given that the location is a heavily auto-oriented commercial corridor where drive-throughs are common and the site's proposed layout meets the requirements of the Commercial and Mixed-Use Pattern Book, staff recommends **approval**.

B. Plan Consistency

The proposed use is consistent with *plaNorfolk2030*, which designates this site as commercial.

C. Zoning Analysis

i. General

- The applicant intends to subdivide a 1.07-acre lot from the Walmart site to build a 2,668 square foot Panda Express Restaurant.
- The applicant is requesting a two-lane drive-through with access from within the shopping center.
- Drive-through facilities for restaurants are allowed in C-R zoning with a Conditional Use Permit (CUP).
- The drive-through is positioned away from N. Military Highway which meets the requirements of the Commercial and Mixed-Use Pattern Book and has sufficient stacking spaces.
- The elevations and site plan are also able to meet the requirements of the performance standard for drive-throughs.
 - Elevations show that the features of the canopy and drive-through window are consistent with the roofline and material of the principal structure.
 - The pick-up window faces towards WalMart, not on the front façade along N. Military Highway.
 - The drive-through exceeds stacking space requirements, which are six starting at the order box/speaker and three between the order box/ speaker and the pickup window.
 - Since the site is an out parcel, the internal traffic circulation patterns will not interfere with street traffic nor blocks access to any required parking spaces.
 - With the primary entrance of the restaurant located at the northeast corner of the building, away from the drive-through on the southern side, the site layout reduces conflicts between vehicle and pedestrian movements.
 - The site plan shows a perimeter landscaping of at least three feet. Any additional required vegetation including tree canopy coverage will need to comply with *Zoning Ordinance* requirements through the Site Plan Review process.



ii. Performance Standards

- **Drive-through facility, large-scale** -A large-scale drive-through facility designed for a consumer, while remaining in his or her motor vehicle, to purchase goods, products, or merchandise, or receive services. Such facilities typically have at least one order box where the consumer can remotely communicate with employees and at least one pick-up window where merchandise is exchanged for compensation. Examples of a large-scale drive-through facility include high-volume facilities accessory to restaurants and multi-lane facilities accessory to financial institutions or pharmacies.
 - Canopies or other features installed over a drive-through window shall maintain consistent roof lines and materials with the principal structure.
 - Pick-up windows and order boxes shall not be located on the front façade of the building they serve.
 - Pick-up windows and order boxes shall be located at least 50 feet from a Residential district or a lot containing a residential use.
 - The facility shall comply with the stacking spaces requirements in Section 5.1.7.B(7) Stacking Spaces.
 - Vehicular access to drive-through windows or service areas shall be provided, upon approval from the Department of Public Works, from an arterial or collector street, or on a local street within 150 feet of its intersection with an arterial or collector street.
 - Internal traffic circulation patterns on the lot shall prevent vehicles from impeding street traffic or blocking access to any required parking spaces located on the lot.
 - Drive-through facilities shall be designed so as to minimize obstructions to the movement of pedestrians along sidewalks, through areas intended for public use, or between the building entrance and customer parking spaces.
 - For the portion of the drive-through lane adjacent to and between an order box and a pick-up window, a landscaped planting area at least three-feet in width

or a masonry wall at least 30 inches in height and utilizing exterior finishing materials compatible with the principal use shall be provided along the outside perimeter of the lane.

- For any portion of the drive-through lane that is located between the principal building and the street:
 - A landscaped planting area at least three feet in width shall be provided along the perimeter of the property.
 - Canopy trees (or understory trees if overhead power lines would interfere with canopy trees) shall be provided at a rate of one, two and one-half-inch caliper tree for every forty 40 linear feet of street frontage.
 - Shrubs shall be planted at a rate of one fifteen-inch-high shrub for every three linear feet of roadway frontage, excluding driveways. Except within sight distance triangles, such shrubs shall be of a species expected to reach a minimum height of 30 inches and a minimum spread of 30 inches within three to five years of planting.
 - A minimum of 60 percent of all shrubs used shall be evergreens.
- Noise emitted from pick-up windows and order boxes shall not exceed noise levels in accordance with Chapter 26 of the City Code.

iii. Parking:

- Restaurants located in the Suburban Character District require one parking space for every 150 square feet.
- With a 2,668 square foot restaurant, a total of 18 parking spaces are required, 40 are show on the site plan.
- The applicant exceeds 125% of the minimum parking standards allowed by the Zoning Ordinance and will have to provide additional landscaping as determined during the Site Plan Review process.
 - The applicant has significant open space along N. Military Highway that should allow for the additional landscaping.

iv. Landscaping:

Landscaping and other site improvements, including the new Tree Canopy guidelines, will need to comply with *Zoning Ordinance* requirements through the Site Plan Review process.

v. Flood Zone

The property is located in the X (Low to Moderate) Flood Zone, which is a low-risk flood zone.

D. Mobility Analysis

- The property lies with 1/4 mile of two HRT transit stops along N. Military Highway and Lowery Road.

- Sidewalks along N. Military Highway and Lowery Road are part of a larger neighborhood network.

E. Historic Resources Impacts

The site is not located within a federal, state, or local historic district.

F. Public Schools Impacts

N/A

G. Payment of Taxes

The owner of the property is current on all taxes.

H. Civic League

- Applicant met with Lake Taylor Civic League on October 21, 2021.
- A letter of support from the Lake Taylor Civic League was received on October 25, 2021.
- Applicant met with the East Side Task Force on November 18, 2021.
- Notice was sent to the Lake Taylor Civic League on February 9.

I. Communication Outreach/Notification

- Legal notice was posted on the property on February 16.
- Letters were mailed to all property owners within 300 feet of the property on February 9.
- Legal notification was placed in *The Virginian-Pilot* on February 10 and 17.

J. Recommendation

Given that the location is a heavily auto-oriented commercial corridor where drive-throughs are common with no residential exposure and the proposed layout meets the requirements of the Commercial and Mixed-Use Pattern Book, staff recommends **approval**, subject to the following conditions:

- (a) The operation of the accessory use of Drive-Through Facility, Large Scale must be conducted in accordance with the applicable performance standards that are set forth in section 4.3 of the Norfolk Zoning Ordinance.
- (b) The drive-through facility shall close no later than 11:00 p.m.
- (c) The site shall be developed in accordance with the Panda Express conceptual site plan marked Exhibit A, as prepared by the idGROUP, subject to changes required by Site Plan Review.
- (d) The site shall be developed in accordance with the attached Elevations depicted in Exhibit B.

Supporting Material:

- Ordinance Exhibit A (PDF)
- Ordinance Exhibit B (PDF)
- Conditional Use Permit Review Standards (PDF)

- Overview Map(PDF)
- Location Map (PDF)
- Zoning Map (PDF)
- Application (PDF)
- Property Owners_300ft (PDF)
- Email to Lake Taylor Civic League (PDF)
- Exhibit A (PDF)
- East Side Task Force Minutes 11 18 21 final (PDF)
- Exhibit B (PDF)
- Lake Taylor - Letter 2021-10-25 (PDF)
- Site Plan (PDF)

2.4.8.C. CONDITIONAL USE PERMIT REVIEW STANDARDS

A Conditional Use Permit may be approved if the applicant demonstrates that the proposed conditional use:

- 1)** Is consistent with the purposes, goals and policies of the comprehensive plan and other applicable city-adopted plans;
- 2)** Complies with all applicable zoning district-specific standards in Article 3. Zoning Districts;
- 3)** Complies with all applicable use-specific standards in Article 4. Performance Standards;
- 4)** Complies with all applicable development and design standards in Article 5. Development Standards;
- 5)** Complies with all relevant subdivision and infrastructure standards in Chapter 42.5 of City Code;
- 6)** Is appropriate for its location and is compatible with the general character of surrounding lands and the types, scale, and intensity of uses allowed in the zoning district where proposed;
- 7)** Adequately screens, buffers, or otherwise minimizes adverse visual impacts on adjacent lands;
- 8)** Avoids significant adverse odor, noise, glare, and vibration impacts on surrounding lands regarding refuse collection, service delivery, parking and loading, signs, lighting, night-time activity, and other site elements;
- 9)** Avoids significant deterioration of water and air resources, scenic resources, and other natural resources;
- 10)** Maintains safe and convenient ingress and egress and traffic flow onto and through the site by vehicles and pedestrians, and safe road conditions around the site;
- 11)** Is served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools;
- 12)** Maintains adequate parking, loading and other necessary facilities to serve the proposed use;
- 13)** Will not substantially diminish or impair the value of the land within the neighborhood in which it is located.
- 14)** Will not cause a negative cumulative effect, when its effect is considered in conjunction with the cumulative effect of various Conditional Use Permits of all types on the immediate neighborhood and the effect of the proposed type of Conditional Use Permit on the city as a whole;
- 15)** Complies with all other relevant city, state and federal laws and standards; and
- 16)** Is required by the public necessity, convenience, general welfare, or good zoning practice.

Form and Correctness Approved: *BAP*

Contents Approved:



By: _____
Office of the City Attorney



By: _____
DEPT. Planning

NORFOLK, VIRGINIA

Ordinance No.

AN ORDINANCE GRANTING A CONDITIONAL USE PERMIT TO
AUTHORIZE A LARGE-SCALE DRIVE-THROUGH FACILITY ON
PROPERTY LOCATED AT 1170 NORTH MILITARY HIGHWAY FOR A
RESTAURANT NAMED "PANDA EXPRESS."

- - -

BE IT ORDAINED by the Council of the City of Norfolk:

Section 1:- That a conditional use permit is hereby granted
authorizing the operation of the accessory use of Drive-Through
Facility, Large-Scale.

Section 2:- That the full extent of the property or
properties where the permit or permits described above are
hereby made effective, upon the date set forth below, is
described as follows:

Property fronts 380 feet, more or less, along the eastern
line of Military Highway and 900 feet, more or less, along
the southern line of Lowery Road; premises numbered 1170
North Military Highway.

Section 3:- That the conditional use permits granted herein
shall be subject to all of the general conditions set forth in
section 2.4.8.D of the Norfolk Zoning Ordinance and all of the
following additional conditions, requirements, and limitations:

- (a) The operation of the accessory use of Drive-Through Facility, Large Scale, must be conducted in accordance with the applicable performance standards that are set forth in section 4.3 of the Norfolk Zoning Ordinance.
- (b) The site shall be developed in accordance with the conceptual site plan prepared by Civil Engineering Services, marked as "Exhibit A" and attached hereto, subject to any revisions

required by the City to be made during the site plan review or building permit plan review processes.

- (c) The site shall be developed to reflect the general massing, materials, fenestration and design elements for the front, rear, left side and right side of the buildings shown in the elevations, marked as "Exhibit B" and attached hereto, subject to any revisions required by the City to be made during the site plan review and building permit processes.
- (d) The drive-through facility shall close no later than 11:00 p.m.
- (e) All landscaping installed on the site shall be maintained in a healthy growing condition at all times and shall be replaced when necessary.
- (f) The use of temporary signs shall comply with section 5.7 of the Norfolk Zoning Ordinance. The use of feather flags, pennants, and streamers is prohibited.
- (g) All bollards on the site shall be painted and maintained free of visible corrosion.
- (h) Dumpsters shall be gated and not visible from any public right-of-way, and will be screened with masonry walls that complement the proposed building.
- (i) During all hours of operation, the establishment operator shall be responsible for maintaining those portions of public rights-of-way improved by sidewalk and portions of any parking lot adjacent to the premises regulated by the Special Exception so as to keep such areas free of litter, refuse, and both solid and liquid waste.
- (j) The property shall be kept in a clean and sanitary condition at all times.
- (k) The establishment shall remain current on all food and beverages taxes and other local taxes which may become due while it is in operation.
- (l) The establishment shall maintain a current, active business license at all times while in

operation.

Section 4:- That the City Council hereby determines that the conditional use permit or permits granted herein comply with each of the standards set forth in section 2.4.8.C of the Norfolk Zoning Ordinance.

Section 5:- That this ordinance shall be in effect from the date of its adoption.

ATTACHMENTS:

Exhibit A (1 page)

Exhibit B (1 page)

Overview Map

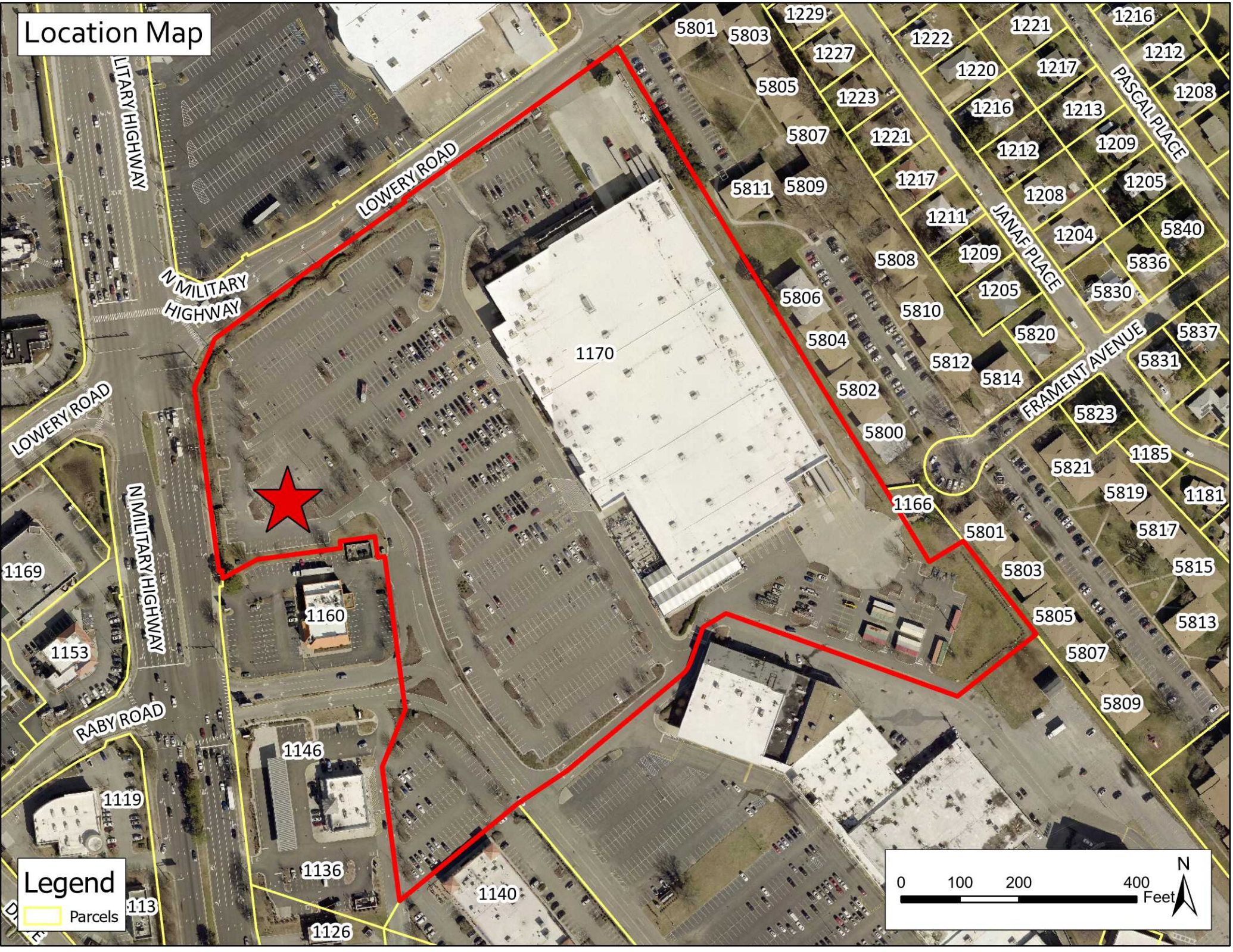


Legend

Parcels

0 125 250 500 Feet

Location Map

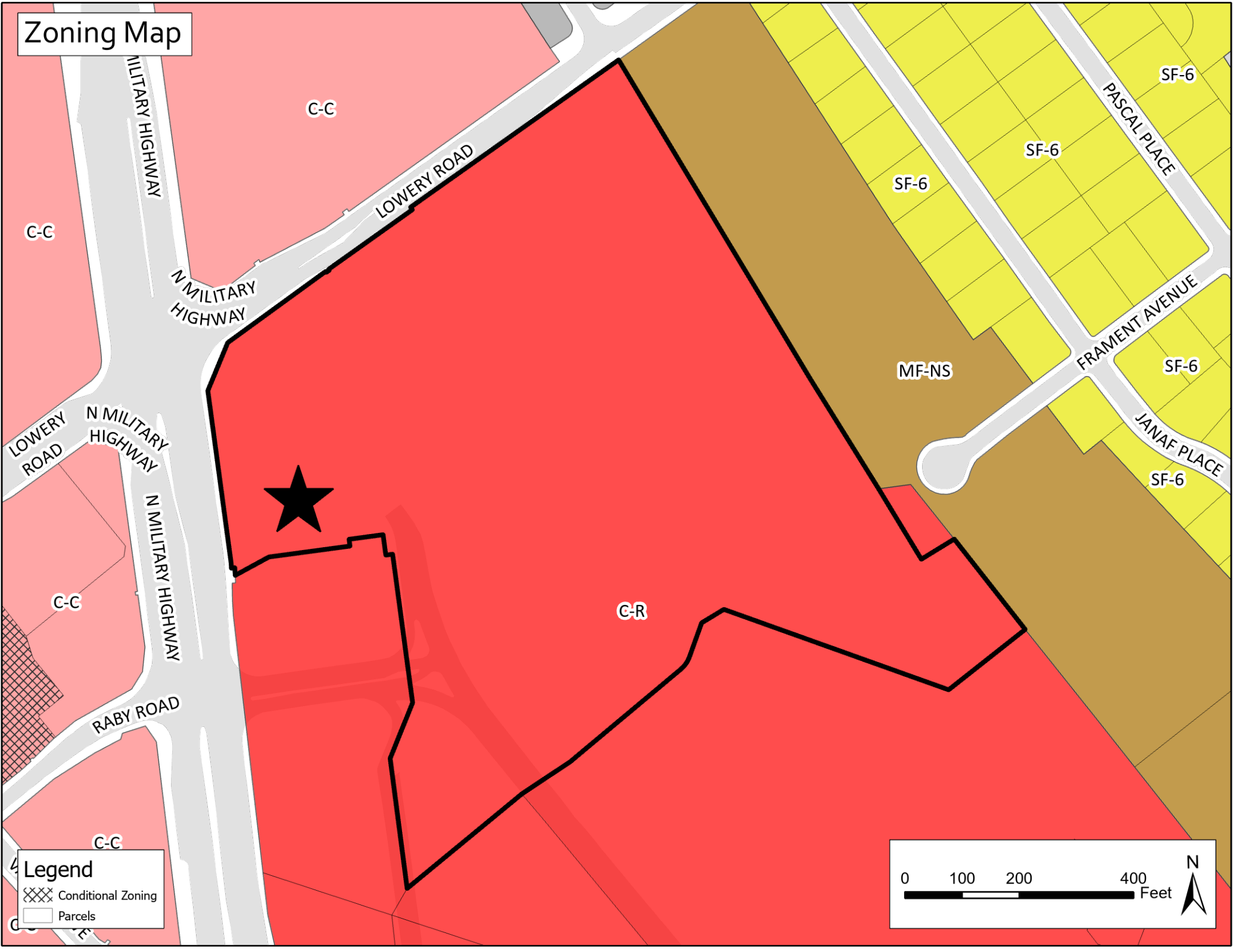


Legend

Parcels



Zoning Map



Legend

- Conditional Zoning
- Parcels

0 100 200 400 Feet

N



**APPLICATION
CONDITIONAL USE PERMIT
(Please print)**

Date 1/19/2022

DESCRIPTION OF PROPERTY

Address: 1170 N Military Hwy, Norfolk, VA 23502

Existing Use of Property: parking lot

Proposed Use: restaurant with drive-thru

Current Building Square Footage: 0 Proposed Building Square Footage: 2,300

Trade Name of Business (if applicable): Panda Express

APPLICANT*

Panda Restaurant Group, Inc.

1. Name of applicant: (Last) _____ (First) _____ (MI) _____

Mailing address of applicant (Street/P.O. Box): 1120 N Town Center Dr, Suite 150

(City): Las Vegas (State): NV (Zip Code): 89144

Daytime telephone number of applicant: () _____

E-mail address: _____

AUTHORIZED AGENT* (if applicable)

2. Name of applicant: (Last) Grayson (First) Dan (MI) _____

Mailing address of applicant (Street/P.O. Box): P.O. Box 1302

(City): Fairview (State): TN (Zip Code): 37062

Daytime telephone number of applicant: () (385) 375-4122 Fax () _____

E-mail address: dan@civilengineeringservices.net

Application
Conditional Use Permit
Page 2

PROPERTY OWNER*

3. Name of property owner: (Last) Wal-Mart Stores, Inc. (First) _____ (MI) _____

Mailing address of property owner (Street/P.O. box): P.O. Box 8050 Ms 0555

(City): Bentonville (State): AR (Zip Code): 72712

Daytime telephone number of owner: () _____ rep: Tom Rud
2641 Irving Blvd, Dallas, TX 75207
E-mail address: _____ (214) 638-6800
trud@idgroupdallas.com

***(If applicant/agent/property owner is a LLC or a Corp./Inc., include name of official representative and/or all partners)**

CIVIC LEAGUE - BUSINESS ASSOCIATION - HOA INFORMATION

Civic League contact: Lake Taylor

Date meeting attended/held: 10-21-2021

Local Business Association (if applicable) contact: N/A

Date meeting attended/held: _____

Home/Property/Condominium Owners Association (if applicable) contact: N/A

Date meeting attended/held: _____

Ward/Super Ward information: N/A

CERTIFICATION

I hereby submit this complete application and certify the information contained herein is true and accurate to the best of my knowledge:

Print name: Tom Rud Sign: Tom Rud 01-21-2021
(Property Owner) (Date)

Print name: _____ Sign: _____
(Applicant) (Date)

(If Applicable)

Print name: Dan Grayson Sign: Dan Grayson 1/19/2022
(Authorized Agent Signature) (Date)



Description of Operations
Conditional Use Permit

Date: 1/19/2022

Trade name of business: Panda Express

Address of business: 1170 N Military Hwy, Norfolk, VA 23502

Name(s) of business owner(s)*: Panda Restaurant Group, Inc. (Andrew Cherng, Peggy Cherng)

Name(s) of property owner(s)*: CFT NV Developments, LLC (Andrew Cherng, Peggy Cherng)

Daytime telephone number () 717-537-6983

*If business or property owner is partnership, all partners must be listed.

*If business or property owner is an LLC or Corporation, all principals must be listed.

Proposed Hours of Operation:

Weekday From: 10:30AM To: 9:00PM

Friday From: 10:30AM To: 9:30PM

Saturday From: 10:30AM To: 9:30PM

Sunday From: 11:00AM To: 9:00PM

Dan Grayson

Signature of Applicant

DEPARTMENT OF CITY PLANNING

810 Union Street, Room 508

Norfolk, Virginia 23510

Telephone (757) 664-4752 Fax (757) 441-1569

(Revised July, 2018)

* * New Panda Express Restaurant * *

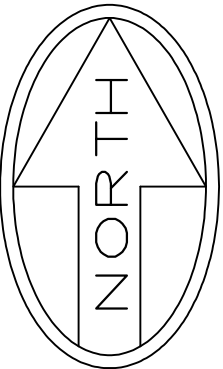
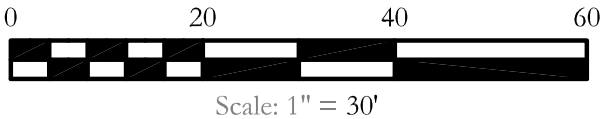
Proposed Site Address:	1170 N Military Hwy, Norfolk, VA 23502 (N Military Hwy & Lowery Rd)
Current Site Use:	Walmart parking lot
Proposed Building Square Footage:	2,500 sqft
Drive-Thru:	2 stations for taking orders
Panda Express History:	Established in 1983 as a family restaurant Now the largest family-owned asian dining chain in the U.S. Currently over 2,200 restaurants worldwide
"Panda Cares" (Community Outreach Program)	Provides (A) food, funding and volunteer services to underserved youth & also (B) disaster relief efforts

Physical Survey

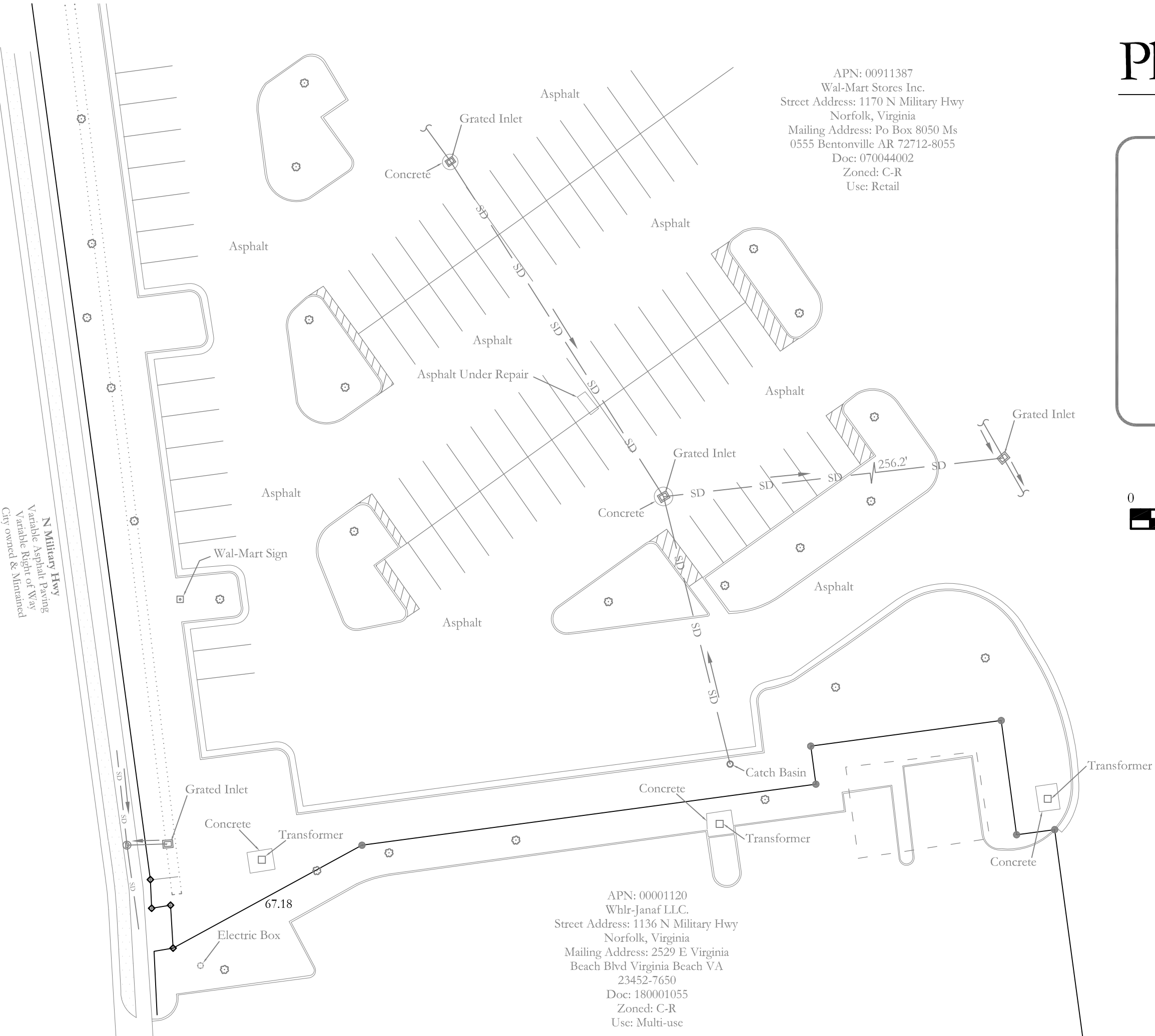
APN: 00911387
Wal-Mart Stores Inc.
Street Address: 1170 N Military Hwy
Norfolk, Virginia
Mailing Address: Po Box 8050 Ms
0555 Bentonville AR 72712-8055
Doc: 070044002
Zoned: C-R
Use: Retail

Legend of Symbols

- Found 5/8" Rebar (unless noted)
- Computed Point
- Storm drain manhole
- Tree
- Concrete Sidewalk
- Boundary line
- Tie line
- Easement line
- Setback line
- Adjoiner Property Line
- Asphalt
- Right-of-way
- Parking Striping
- Hedge grow



APN: 00001120
Whlr-Janaf LLC.
Street Address: 1136 N Military Hwy
Norfolk, Virginia
Mailing Address: 2529 E Virginia
Beach Blvd Virginia Beach VA
23452-7650
Doc: 180001055
Zoned: C-R
Use: Multi-use



SITE DATA TABLE

JURISDICTION:
CITY

ZONING:
C-R (REGIONAL COMMERCIAL)

REQUIRED BUILDING SETBACKS:
FRONT (E) = 10'
REAR (W) = 10'
SIDE (N) = 10'
SIDE (S) = 10'

SITE ACREAGE:
PANDA EXPRESS = 49,154 SF / 1.284 ACRES

FLOOR AREA RATIO:
PANDA EXPRESS = 2,500 SF BLDG / SITE AREA 49,154 = 50.86%

IMPERVIOUS SURFACE RATIO
SITE TOTAL SQ FEET = 49,154 SF
PAVEMENT/SIDEWALKS = 32,987 SF
BUILDING = 2,500 SF
PERVIOUS = 13,667
TOTAL IMPERVIOUS = 35,487 SF / 49,154 = 72.20%

PARKING
1 SPACE PER 150 SF OF FLOOR AREA
PARKING REQUIRED = 17
TOTAL PARKING PROVIDED PANDA EXPRESS = 60

REQUIRED PARKING SETBACKS:
FRONT (E) = 6'
REAR (W) = N/A
SIDE (N) = 6'
SIDE (S) = N/A

FLOOD HAZARD:
F.I.R.M. MAP NO. 51051040077H, DATED FEB. 17, 2017

PANDA EXPRESS STANDARD NOTES

1. THE GEOTECHNICAL INVESTIGATION PREPARED BY XXXXXXX, DATED XXXXXXXX AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEERS AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.
2. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

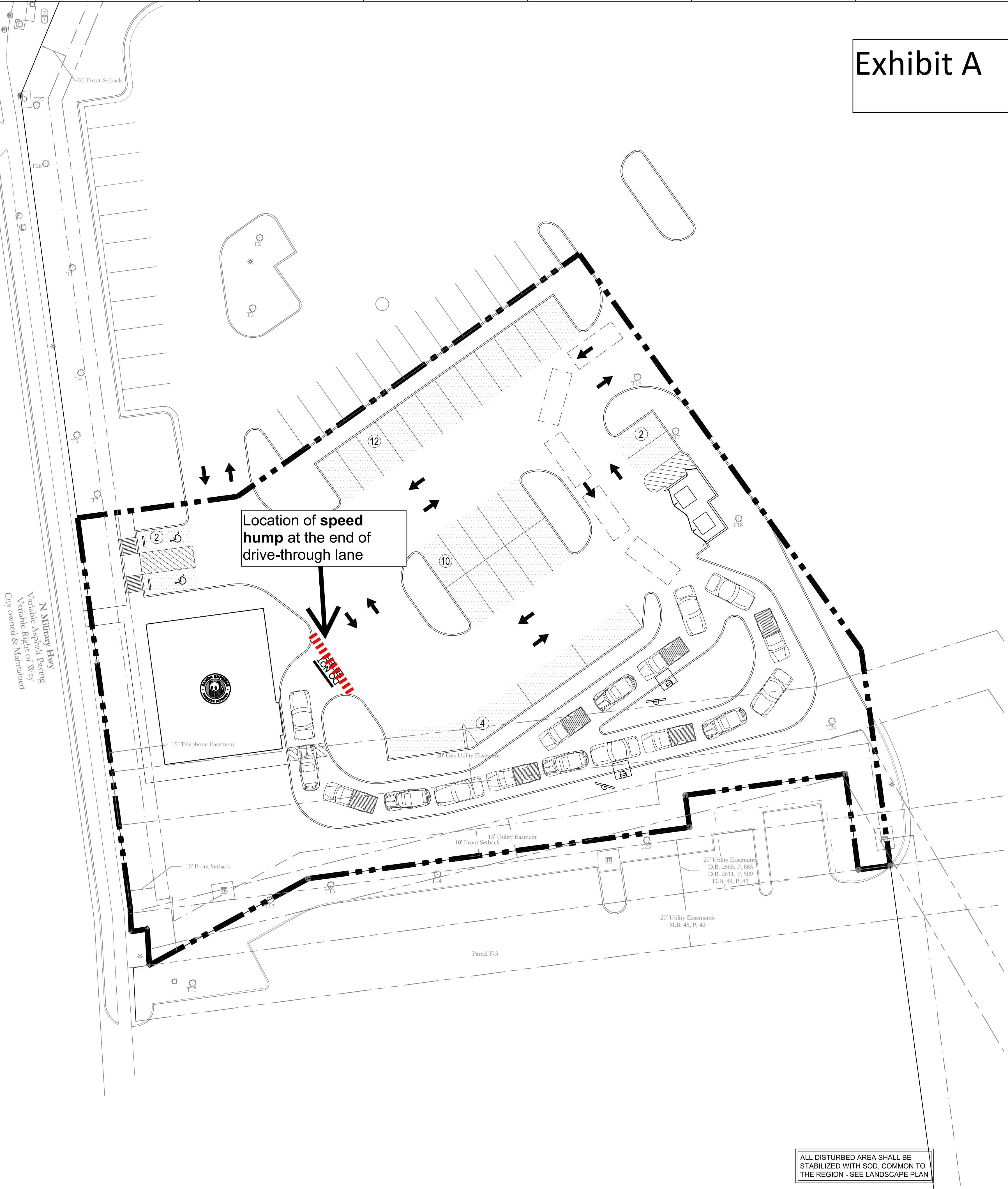
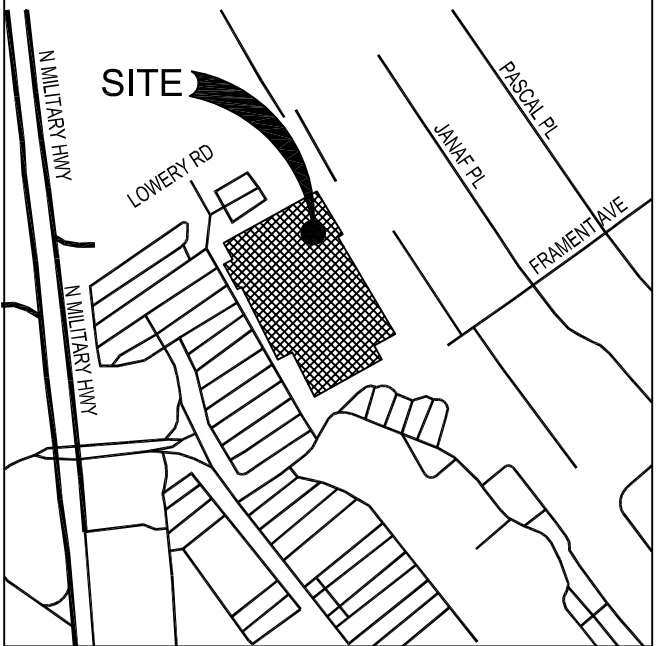


Exhibit A



LOCATION MAP

NOT TO SCALE

PROPOSED SITE LEGEND

- (8) PARKING STALL COUNT - SEE PLANS
- [Pattern] LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
- [Pattern] HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
- [Pattern] CONCRETE SIDEWALK - SEE DETAIL SHEET (C03.1)
- [Pattern] CONCRETE PAVING AT DUMPSTER ENCLOSURE, DRIVE THRU, AND PARKING ALONG BUILDING PER GEOTECHNICAL REPORT
- [Symbol] HANDICAP PARKING
- [Symbol] DIRECTIONAL ARROWS
- [Symbol] PROPOSED CURB AND GUTTER AT CONCRETE - MONOLITHIC AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)

GENERAL NOTES

SEE NOTES ON SHEET C01.1

SITE BLOCK NOTES

PAVEMENT AND CURBING

- (1) PROVIDE CURB AND GUTTER AT ASPHALT - MONOLITHIC CURB AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- (2) PROVIDE CONCRETE SIDEWALKS PER DETAIL SHEET (C03.2) - PROVIDE CONCRETE SIDEWALK WITH INTEGRAL CURB AT BUILDING AND PARKING PER DETAIL SHEET (C03.1)
- (3) HEAVY DUTY CONCRETE PAVING AT DRIVE THRU ISLE - SEE DETAIL SHEET (C03.1) & GEO-TECH REPORT (GRAY COLOR, LIGHT BROOM FINISH)
- (4) NEW HEAVY DUTY CONCRETE APRON AT DUMPSTER ENCLOSURE - SEE ARCHITECTURAL DETAIL SHEET - SEE DETAIL SHEET (C03.1)
- (5) LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET (C03.1) & GEO-TECH REPORT
- (6) HEAVY DUTY ASPHALT PAVING - SEE DETAIL SHEET (C03.1) & GEO-TECH REPORT
- (7) SEALED CONC. SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD), CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. AND ALL SIDE WALKS.
- (8) EXPANSION JOINT - SEE SOILS REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)
- (9) CONTROL JOINTS - SEE SOILS REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)
- (10) PROVIDE 2' WIDE CURB CUT

PAVEMENT STRIPING / ADA FEATURES / TRAFFIC SIGNAGE

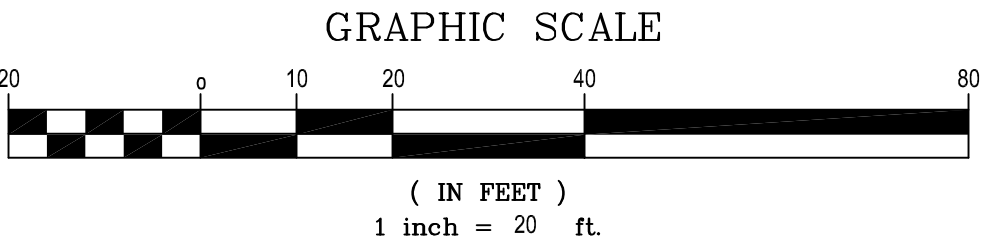
- (15) ADA ACCESSIBLE RAMP AT HANDICAP PARKING STALLS - SEE GRADING PLAN FOR ELEVATIONS - SEE HANDICAP PARKING ON DETAIL SHEET (C03.1)
- (16) ADA DETECTABLE WARNING AT EDGE OF PAVEMENT - SEE HANDICAP PARKING DETAIL ON DETAIL SHEET (C03.1)
- (17) HANDICAP AND VAN ACCESSIBLE PARKING LAYOUT, SIGNAGE, AND STRIPING - SEE DETAIL SHEET (C03.1)
- (18) ALL SITE DIRECTIONAL SIGNAGE, PAVEMENT STRIPING AND MARKINGS SHALL BE COORDINATED WITH PRG'S PROJECT MANAGER.
- (19) DO NOT ENTER SIGN PER MUTCD / LOCAL SPECS.
- (20) 4" WIDE PARKING STRIPE PAINTED WHITE PER MUTCD SPECS.
- (21) TRAFFIC ARROW PAINTED WHITE - SEE DETAIL SHEET (C03.1)
- (22) STOP BAR PAINTED WHITE PER MUTCD SPECS.
- (23) *STOP* SIGN PER MUTCD/LOCAL MUNICIPALITY SPECIFICATIONS
- (24) 4" WIDE PARKING STRIPE, SPACED AT 2' O.C. AT 45° PAINTED WHITE PER MUTCD SPECS.

PANDA EXPRESS SITE FEATURES

- (30) DRIVE THRU LANE SENSOR LOOP SEE DETAIL - SEE ARCH DETAIL SHEET
- (31) NEW PAINTED SWITCHGEAR LOCATION - SEE ELECTRICAL PLANS
- (32) ORDER CONFIRMATION BOARD - SEE ARCH DETAIL SHEET
- (33) DRIVE THROUGH MENU BOARD-INSTALLED BY GC. VERIFY WITH PANDA P.M. - SEE ARCH DETAIL SHEET
- (34) CLEARANCE BAR INSTALLED BY SIGN VENDOR - RE: ELECTRICAL DRAWING FOR REQUIREMENTS, G.C. TO COORDINATE LOCATION WITH PRG P.M.
- (35) WHEEL STOP (RUBBER) - SEE DETAIL SHEET (C03.2)
- (36) TRASH ENCLOSURE, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. (TYP. 6 YARD BIN) - SEE ARCH DETAIL SHEET
- (37) LOCATION OF POLE MOUNTED SIGN (SEE SIGN DESIGN BY OTHERS)
- (38) LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.1)
- (39) TIE TO ROOF DRAIN COLLECTOR FROM BUILDING - SEE PLUMBING PLANS FOR UNDERGROUND CONNECTION AT BUILDING - SEE ELEVATION THIS SHEET - OVERFLOW PIPE FROM ROOF DRAIN TO DAYLIGHT UNDER CONCRETE FLATWORK AT FACE OF CURB - SEE PLUMBING PLANS FOR LOCATION
- (40) APPROXIMATE LOCATION OF PAD MOUNTED TRANSFORMER PAD PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO CONSTRUCTION
- (41) EDGE OF CONCRETE SIDEWALK AT PLANTER BED - SEE LANDSCAPE PLAN (L01.0)

ADDITIONAL SITE FEATURES

- (50) MATCH EXISTING GRADE
- (51) EXISTING FIRE HYDRANT
- (52) PROPOSED RETAINING WALL BY OTHERS - FIELD VERIFY LOCATION AND ELEVATIONS PRIOR TO ANY WORK DONE - NOTIFY OWNER AND OWNER'S ENGINEER FOR ANY CONFLICTS IN DESIGN



ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN



BM #2 TYPE FOUND DH NORTHING 3481778.92 EASTING 12152776.11 ELEVATION 11.82	BM #1 TYPE FOUND #5 REBAR NORTHING 3481527.04 EASTING 12153082.63 ELEVATION 13.78	FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X "UNSHADED" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 5101040077H, WHICH BEARS AN EFFECTIVE DATE OF 2/17/2017 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA
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PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California 91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:

PRELIM REVIEW	XX-XX-21

DRAWN BY: PTD

PANDA PROJECT #: S8-21-D5885
PANDA STORE #: D-5885
ARCH PROJECT #: XXXXX-XXX

Civil Engineering Services
Engineering, Land Planning,
and Environmental

cEs

7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civlengineeringsservices.net

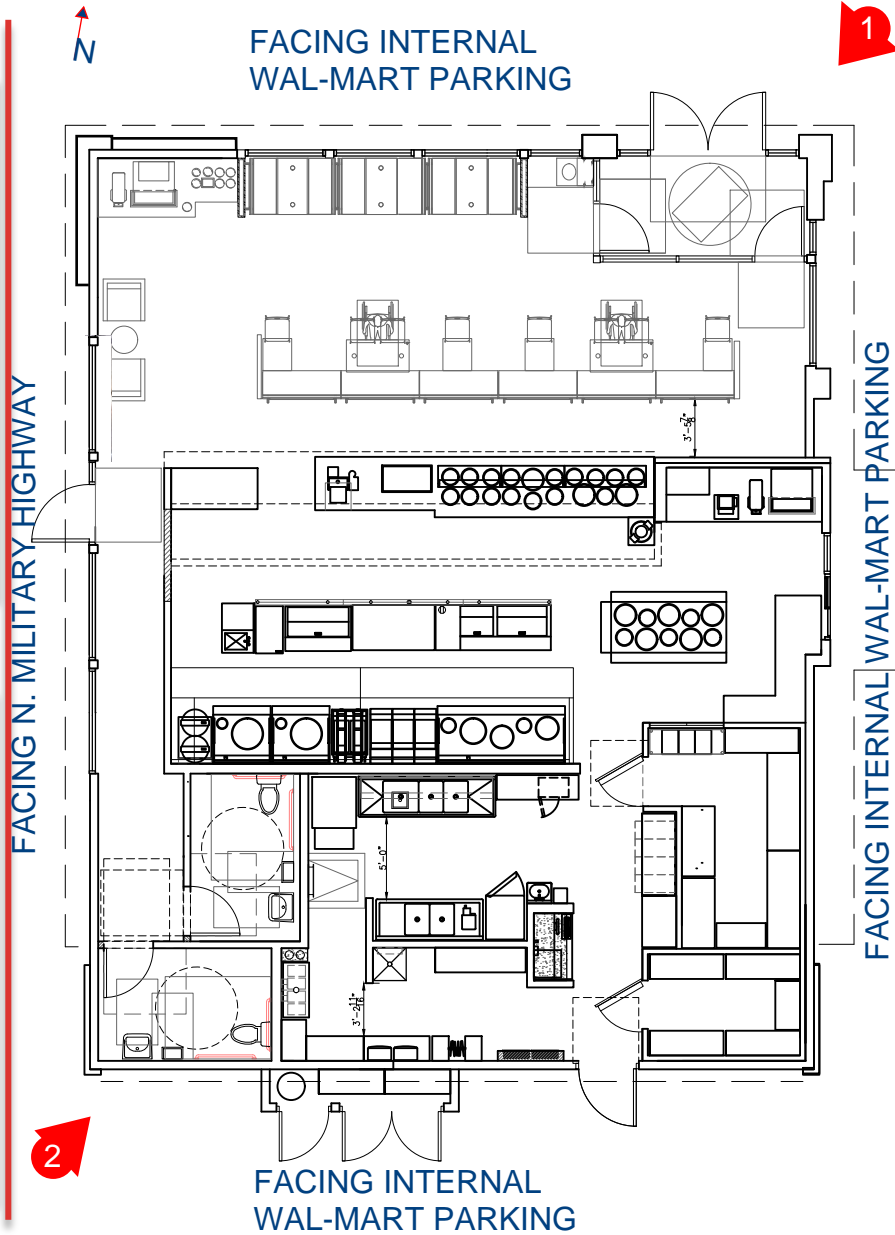
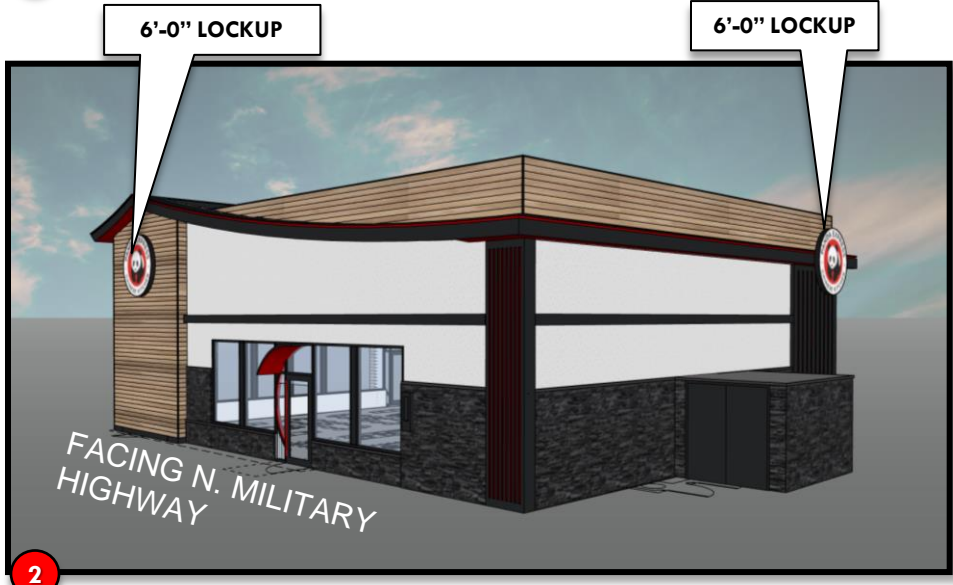
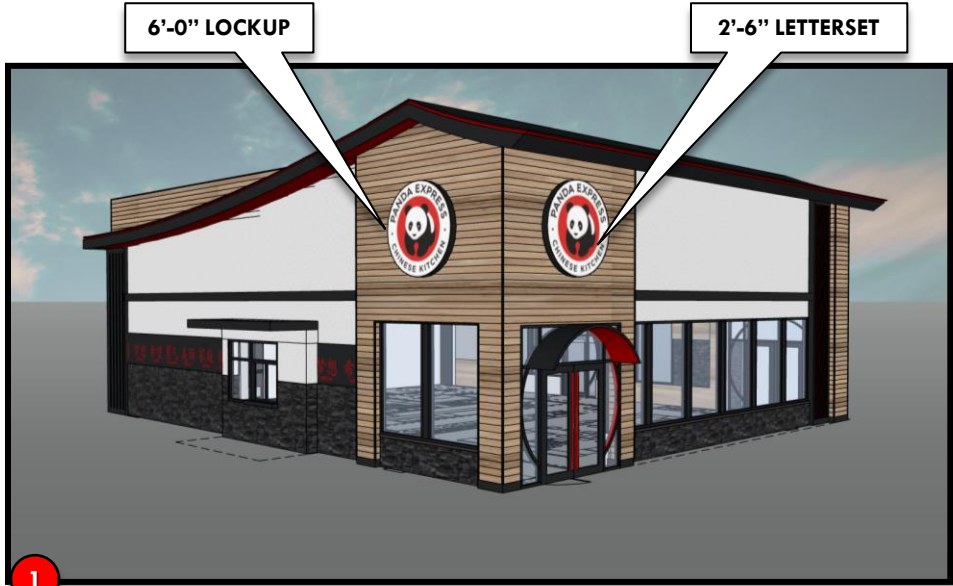
PANDA EXPRESS

TRUE WARM AND WELCOME
1170 N. MILITARY HIGHWAY
NORFOLK, VA 23502

SITE PLAN

C03.0

TRUE WARM & WELCOME 2500



**LAKE TAYLOR CIVIC LEAGUE
POST OFFICE BOX 12753
NORFOLK, VIRGINIA 23541**

October 25, 2021

Norfolk Planning Commission
City Hall Building
810 Union Street, Suite 508
Norfolk, VA 23510

RE: Panda Express, Inc.

Members of the Planning Commission:

Please accept this letter on behalf of the Lake Taylor Civic League, regarding the application submitted by Panda Express, Inc. to develop a stand alone Asian dining chain restaurant in the Walmart Parking lot located at 1170 North Military Highway.

Following a presentation on behalf of Panda Express, Inc., our members reviewed the site plans, menu and discussed this proposed new addition to our neighborhood. There was some discussion regarding the proximity of the building to Military Highway and some members voiced concern regarding that issue. Following these discussions, the application was voted on by our members and received unanimous support in favor of this application.

Thank you for your consideration and allowing our input on this issue.

Respectfully,

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Lake Taylor Civic League, by
Steven A. Mirman, President



East Side Task Force Meeting
MINUTES
Thursday, November 18, 2021
Via WebEx

Councilwoman Royster called the meeting to order and welcomed everyone.

Public Safety Report - Norfolk Police Department

Officer Brown reported increased property crime, especially among autos. Leaving keys in vehicles or leaving them running unattended contributes to the rise in auto thefts. The police have begun a streetlight initiative to document and report non-working streetlights. Finally, they will resume their holiday detail of posting highly visible patrols on commercial corridors during the holiday shopping season.

Residents voiced concerns about streetlight outages and slow repair times. Abilene Avenue was scheduled to have new lights in 2019 but there has been no action. Councilwoman Royster communicated that City Council is aware and met with Dominion Energy at their November 9th meeting. City Council requested a dashboard to show progress on Dominion's backlog. Residents may also report outages to Councilwoman Royster.

Panda Express Proposal

Ray Flake (Civic Engineering Services), representing Panda Express, communicated a proposed new Panda Express restaurant in the Wal-Mart parking lot at 1170 N. Military Highway of less than an acre. The Lake Taylor Civic League already expressed their support. No opposition was voiced during the meeting.

Traffic Discussion Document

Ken Richards, Elizabeth Park Civic League, presented a study he conducted of traffic patterns in the area from the perspective of an everyday driver. He had three purposes:

- Address traffic concerns of civic leagues surrounding the proposed development of the Poplar Hall School and adjacent property.
- Identify development limitations of the property regardless of use (housing or commercial). Encourage the city to require a traffic study prior to development approval.
- Encourage the city to conduct a larger study of traffic concerns on the east side related to increased development.

A link to the study is [here](#). It will also be sent to task force members.

Transit

Rob Brown, Department of Transit, responded that Mr. Richard's report was well done and that transit engineers share many of the same concerns around the Poplar Hall school site and the

Military Circle area. They also encourage developers to meet with them early. In addition, the Virginia Department of Transportation (VDOT) is including the segment of Military Highway from I-264 to Virginia Beach Boulevard in its Project Pipelines series of studies. The Department of Transit is providing VDOT information on development and will reach out to task force members if any public input is requested. Residents made additional requests.

- Mr. Brown or another representative is requested to attend an Equity for East Side Coalition meeting. The coalition earlier met with Jared Chalk, Department of Development, and has been reaching out for more information.
- Vision Zero Phasing. East Side neighborhoods requested inclusion in Vision Zero neighborhood speed reductions.
- Kempsville Road. It was requested that the speed limit on Kempsville Road be reduced to 20 or 25 miles per hour. Driver feedback signs were also requested. Missing speed limit signs were reported.
- A [program from VDOT](#) was mentioned by a community member. Mr. Brown said some VDOT programs don't apply to Norfolk streets.

Public Works

Oliver Love, Department of Public Works, responded to questions about Edison and Ivor Avenues after heavy construction traffic from the I-264 interchange expansion. Public Works is obtaining proposals from contractors to repair Edison Avenue. Ivor Avenue was determined to be in good condition, last paved in 2009, and is not due for repaving. However, Mr. Love will visit himself.

Task Force Schedule

Task force members approved continuing virtual meetings on a bi-monthly basis in 2022. It was noted by a resident that turning on cameras during meetings is helpful. Councilwoman Royster communicated that she would be contacting civic leagues in January to hear their visions for the new year.

Costco Update

Sean Washington, Department of Development, responded to questions about Costco. Development has been in communication with Costco and will have met with them by the next task force meeting. Residents consider it vital to the area and expressed concerns about rapid transit's impact on the property.

American Rescue Plan Act (ARPA)

The initial public input meeting on November 15 was not productive. Councilwoman Royster has been in conversation with the City Manager to take a different approach. The November 18 meeting will have a different format and council members are suggesting other opportunities. A public hearing is scheduled for December 14 at City Council with the understanding a vote will not occur that evening but at a future meeting. Councilwoman Royster has looked at how other cities have conducted engagement and invited members to send her their ideas.

Community Reports

- Elizabeth Park – has an upcoming meeting about flood mitigation.
- Glenrock – has a stormwater project coming in January 2022.
- Hollywood Homes – is concerned about speeding on Kempsville Road, Fairlawn Elementary School closing, a lack of lights on Newtown Road and Kempsville Road, and a few potholes.
- Lake Taylor – requested information on a stormwater project from 2019 that has been delayed. They also continue to be concerned about speeding and illegal passing on Kempsville Road. They reported a positive renovation of the old bingo hall at Military Crossing shopping center.
- Riverforest Shores – requested a different format for the ARPA meetings.

Newtown South

Technical difficulties prevented Newtown South from sharing their concerns. After the meeting, they requested by phone to know if and when Newtown South roads were in the Vision Zero queue.

Action Items

- Send link to Mr. Richard's traffic study (Jim Herbst)
- Meet with Equity Coalition for the East Side (Rob Brown)
- Research information on Abilene Ave. lighting (Rob Brown)
- Research missing speed limits signs on Kempsville Road (Rob Brown)
- Visit Ivor Avenue (Oliver Love)
- Costco Update (Sean Washington)
- Send Bruce Erie Estabrook information (Jim Herbst)
- Provide Frament Ave. stormwater project update to Lake Taylor (Jim Herbst/Public Works)

Councilwoman Royster thanked everyone for attending.

NEXT MEETING:
January 20, 2022, 3:00 p.m.

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POST OFFICE BOX 12753
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Whlr-Janaf, Llc
2529 E Virginia Beach Blvd
Virginia Beach VA 23452-7650

Whlr-Janaf-Bravo, Llc
2529 E Virginia Beach Blvd
Virginia Beach VA 23452-7650

American Heart Assoc Inc The
2529 Virginia Beach Blvd Ste 200
Virginia Beach VA 23452-7650

Whlr-Janaf, Llc
2529 E Virginia Beach Blvd
Virginia Beach VA 23452-7650

Michael, Llc
900 Granby St Unit 101
Norfolk VA 23510-2503

City Of Norfolk
810 Union St Rm 900
Norfolk VA 23510-2717

Wal-Mart Stores Inc
Po Box 8050 Ms 0555
Bentonville AR 72712-8055

American Diabetes Assoc Pth Corp
Po Box 2491
Norfolk VA 23501-2491


National Development Llc
22512 Gateway Center Dr
Clarksburg MD 20871

American Heart Assoc Inc The
2529 Virginia Beach Blvd Ste 200
Virginia Beach VA 23452-7650

Hickerson, Burl Company Llc
Po Box 901
Deerfield IL 60015-0901

University Garden Apartments
Po Box 2491
Norfolk VA 23501-2491

City Of Norfolk
810 Union St Rm 900
Norfolk VA 23510-2717

Archived: Tuesday, February 22, 2022 4:31:46 PM
From: [Williams, Sherri](#)
To: [Southall, Ryan N](#) [Riddick, Paul](#) [Royster, Danica](#) [Lake Taylor](#)
Cc: [Kirch-Kelling, Joy M](#)
Subject: New Planning Commission Items-1170 N. Military Highway
Importance: Normal
Sensitivity: None
Attachments:
[Application.pdf](#) 

Attached please find the following information tentatively scheduled to be heard at the February 24, 2022 Planning Commission public hearing:

PANDA EXPRESS, for a Conditional Use Permit at 1170 N. Military Highway to operate a Drive-through facility, large-scale.

The purpose of this request is to allow for the restaurant to construct a new commercial drive-through.

Staff contact: Joy Kirch-Kelling at (757) 664-4756, joy.kirch-kelling@norfolk.gov

Thank You

Sherri Williams
City Planner I – City Clerk



Planning Department
810 Union Street | Suite 508
Norfolk, VA 23510
(757) 664-6771 office | (757) 618-5720 cell

Connect with us:
www.norfolk.gov



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